



CITY UPDATE

Friends of the Library
April 30, 2024

SH 146 AT NASA 1: STREET VIEW AT NASA 1





Thom Kolupski, Mayor

Jackie Rasco, Position 1

Rob Hefner, Position 2

Tom Tollett, Position 3

Michael Giangrosso, Position 4

Buddy Hammann, Mayor Pro Tem, Position 5

Joe Machol, Position 6

Election Time

- Election Day
- May 3rd, 2025

- Early Voting
- April 21st - 29th, 2025

- Candidate Filing Dates
- June 15th - February 14th, 2025



Boards and Commissions

Always an Opportunity to Volunteer

- Planning and Zoning Commission
- Zoning Board of Adjustments
- Open Space and Trails Committee
- Civil Service Commission
- Economic Development Corporation
- Ethics Review Commission
- Seabrook Celebration
- Applications can be found online at seabrooktx.gov

Finally, SH 146 Is Open!

SH 146 Project Status

Final Phases/Landscaping
Green Ribbon Grant -
Landscaping, Bollards,
Reforestation, Paver

SH 146 AT NASA 1: OVERALL VIEW AT NASA 1





SH 146 AT NASA 1: DECORATIVE GRAVEL AT PLANTING



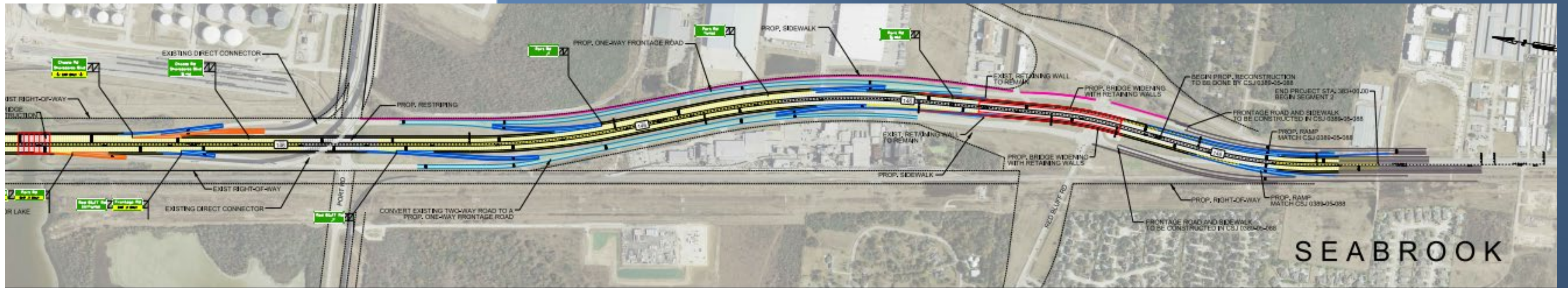


SH 146 AT NASA 1: STREET VIEW AT NASA 1





SH 146 from Red Bluff Road to Spencer Highway





Wastewater Treatment Plant Retrofit



Pine Gully - Wastewater Plant

- Started taking flows on April 1st



Capital Improvement Plan Projects

WW19 - Main Street WWTP Demo

Engineering in Progress

Plans and decommissioning of the waste water plant on Main Street

FAC25 - EMS and EOC Building

Proposal before Council

Bond Program 2023

The design proposal will scope completing drawings and bid documents

Estimated Project Cost \$2,814,593.00



Old Seabrook Livable Center St...



PROJECT TOTAL COSTS \$2,814,593



EXISTING EXTERIOR VIEW



EXISTING EXTERIOR VIEW



ADDITION EXTERIOR VIEW



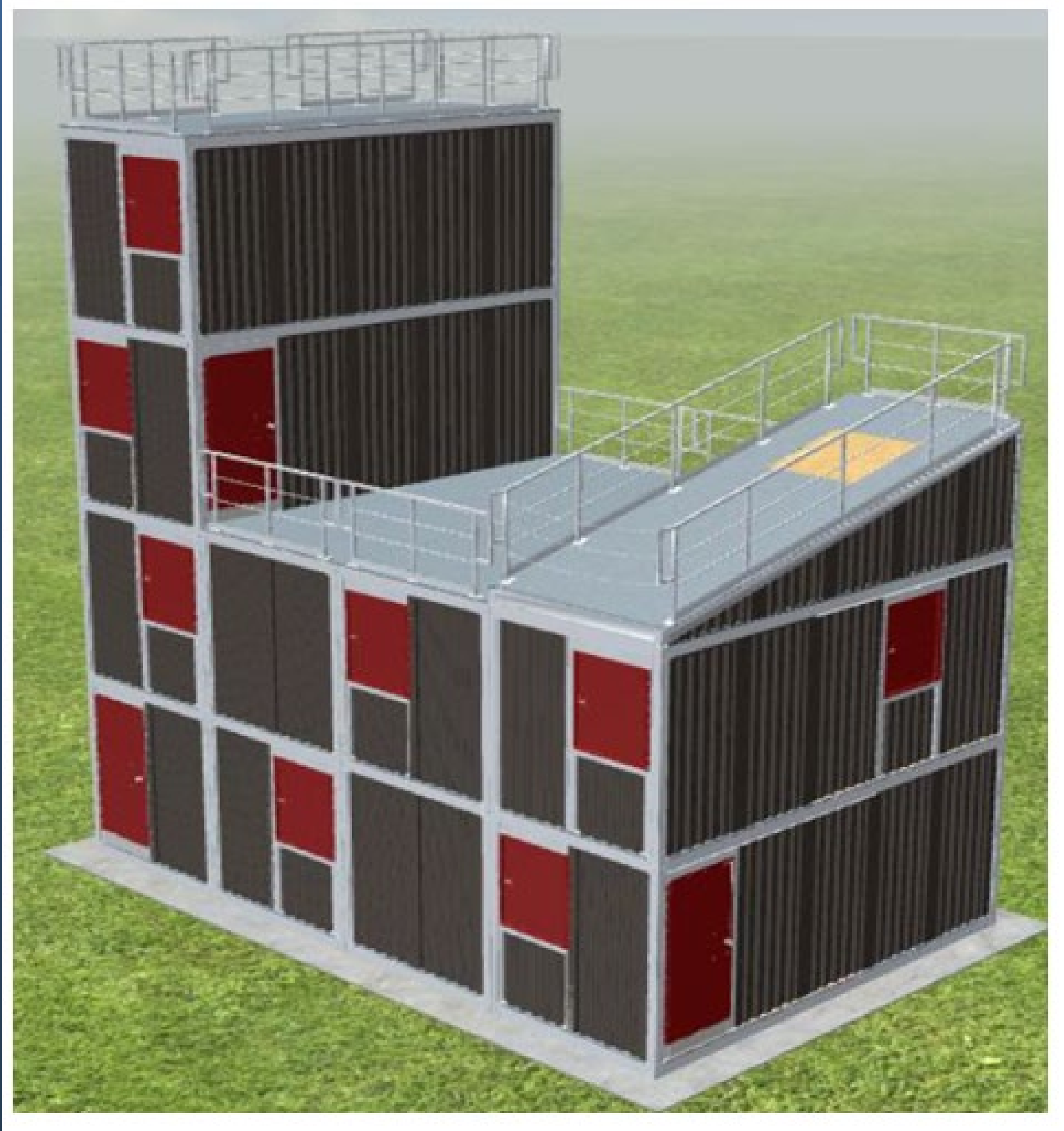
ADDITION EXTERIOR VIEW

FAC 35- Fire Training Tower

Citizen Survey Bond Program 2023

The design proposal will scope completing drawings and bid documents.

Estimated Project Cost \$800,000.00



Parks and Open Space

P24 - Pelican Bay Pool

Pool Assessment Study Presented to Council

This project is determine safety and vital components needed for existing pool. Second phase may explore new rebuild options.

Exploration of New Concepts

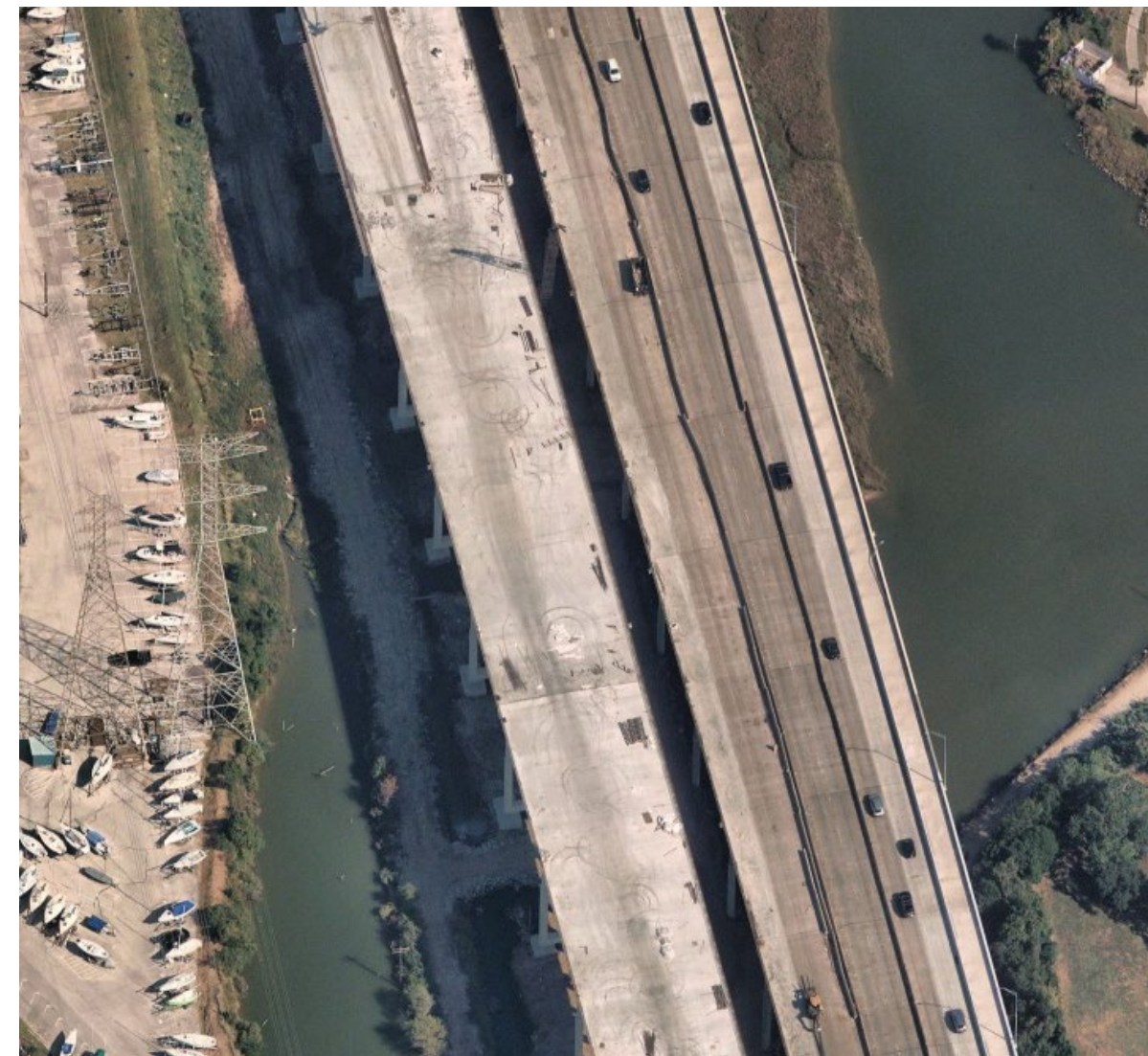
The next phase will be to explore scope and cost estimate of new construction for a municipal aquatic facility

Citizen Survey

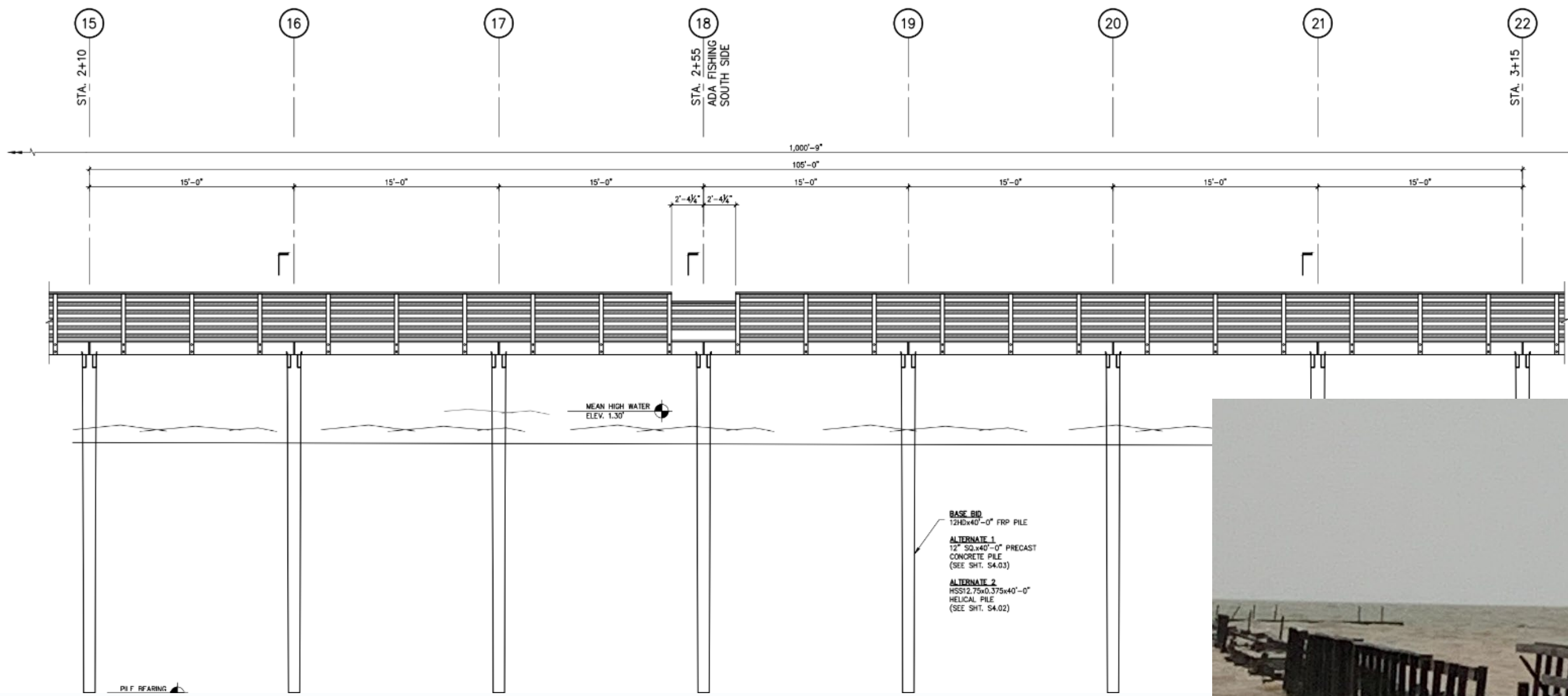
BOAT RAMP



2017



2024



Pine Gully Pier

- Fully designed
- Currently - Est \$2 million
- Funding Needed
- Staff is Searching for Grant Opportunities



DEVELOPMENT

Seabrook Plaza Planned Unit Development

- 170 Room Compass by Margaritaville
- 10,000 sf + Event Center
- 76 Hotel/Condo Extended Stay
- 20,000 sf Restaurants facing Clear Lake



An architectural rendering of a modern waterfront development. The scene features a large body of water in the foreground with a stone-lined shore. In the middle ground, there are several multi-story buildings with light-colored facades and dark roofs. The buildings have a mix of windows and balconies. Some buildings have palm trees and other greenery in front of them. The sky is a clear, bright blue. The overall atmosphere is clean and modern.

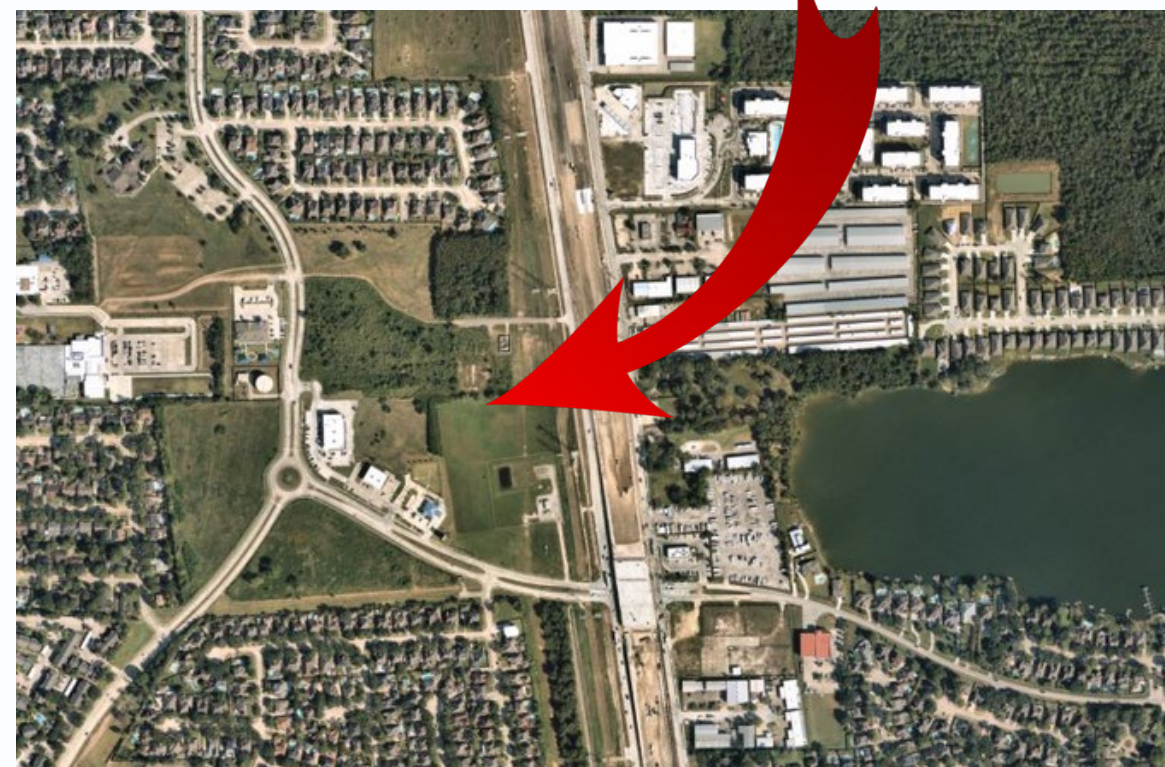
SEABROOK

— PLAZA —

COMING SOON



EDGE AT SEABROOK TOWN CENTRE



- Multi-family unit of approximately 300 units
- 56,000 square feet of Retail Space
- Large Retail/Restaurant Sites on SH 146
- Pedestrian Path Interconnect
- Public Plaza and Greenspace with Golfcart Parking Lot



Highland Center

Proposed Planned Unit Development

- 200 + units
- Retail Space for a Restaurant





North Elevation Along Nasa Road 1



HIGHLAND RESOURCES, INC.

SHOPS AT THE COMMONS

- 28,600 square feet of new retail
- SH 146 Frontage



Residential Developments

\$1000 – \$1600 / month
Ongoing project

Single family homes
Bayway Homes
\$250k – \$400k
Ongoing project

48 units
Single family homes
Ellis Cove
\$250k – \$400k
Ongoing project

10 new units
Single family homes
Oak Alley Estates
\$250k – \$400k
Ongoing project

90 units
55+ community
Chesapeake Bay - Phase 3
\$1000 – \$1600 / month
Under construction

COMPLETE

92 units
55+ affordable housing
Seaside Lodge - Phase 4
Under \$1000 / month
Under construction

88 new units
Single family homes
Old Seabrook Village
\$250k – \$300k
Ongoing project

13 new unit
Single family homes
Ashley Ryann Subdivision
\$300k – \$400k
Ongoing project

Thank You

QUESTIONS
